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<b>Report To:</b>	<b>Environment &amp; Regeneration Committee</b>	<b>Date:</b>	<b>31 October 2019</b>
<b>Report By:</b>	<b>Corporate Director Environment, Regeneration &amp; Resources</b>	<b>Report No:</b>	<b>GM/LP/123/19a</b>
<b>Contact Officer:</b>	<b>Gerard Malone</b>	<b>Contact No:</b>	<b>01475 712710</b>
<b>Subject:</b>	<b>Craigend Resource Centre, Greenock – Open Space Consultation</b>		

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## 1.0 PURPOSE

- 1.1 The purpose of this report is to advise the Committee of the outcome of the open space consultation recently carried out in order to obtain and consider the views of the community in relation to a proposed transfer of land by the Council to Craigend Resource Centre, Greenock in order to facilitate their plans to build a new facility to accommodate a wider range of activities.
- 1.2 This report is an addendum to item 19 which is specified already within the agenda for the Committee's October 2019 meeting.

## 2.0 SUMMARY

- 2.1 The proposed new facility at Craigend Resource Centre, Greenock is the subject of an accompanying report (item 19 on this agenda). This report advises the Committee on the outcome of the open space consultation carried out in relation to the proposal for the new facility.
- 2.2 Two written responses were received in response to the consultation and are attached within **Appendix 1**.

## 3.0 RECOMMENDATION

It Is recommended that the Committee:-

- 3.1 Notes the outcome of the open space consultation relative to the proposed building of a new facility at Craigend Resource Centre, Greenock and the terms of the representations received;
- 3.2 Having regard to those representations, decides either:
  - (a) to instruct the Head of Legal & Property Services to withdraw from negotiations for this proposed disposal; or
  - (b) to remit it to the Head of Legal & Property Services in consultation with further appropriate Officers to proceed to conclude a bargain for the sale or lease of the relative ground to support the proposed new facility at Craigend Resource Centre, Greenock.

## 4.0 BACKGROUND

- 4.1 The proposals for a new facility at Craigend Resource Centre, Greenock are referred to within item 19 on the Committee's agenda. The proposal is to sell or lease the land outlined in **Appendix 1** of item 19.
- 4.2 The detailed proposals relative to the new facility are referred to within item 19. This report advises the Committee on the outcome of the public consultation process for the proposed disposal.
- 4.3 As part of the proposals for the new facility constitute open space, public consultation on any proposed disposal is required in terms of Section 27 of the Town & Country Planning (Scotland) Act 1959. Further, the Committee must consider any representations received as a result of that consultation before any disposal can take place. The Committee granted delegated authority to Officers to progress the consultation at its previous meeting on 29 August 2019.
- 4.4 The consultation period commenced on 23 September 2019 and ended on 21 October 2019 and the two written responses which have been received are attached in **Appendix 1**. There were no objections to the proposed disposal received in the consultation and, indeed, one of the representations is explicitly in support.
- 4.5 There are no concerns expressed in the responses received.

## 5.0 IMPLICATIONS

### 5.1 Finance

This report is focused on the outcome of the open space consultation.

#### Financial Implications:

##### One off Costs

Cost Centre	Budget Heading	Budget Years	Proposed Spend this Report	Virement From	Other Comments
N/A					

##### Annually Recurring Costs/ (Savings)

Cost Centre	Budget Heading	With Effect from	Annual Net Impact	Virement From (If Applicable)	Other Comments
N/A					

### 5.2 Legal

The Legal implications are referred to within item 19. The legal implications are referred to therein.

### 5.3 Human Resources

No implications.

## 5.4 Equalities

### Equalities

- (a) Has an Equality Impact Assessment been carried out?

	YES
X	NO – This report does not introduce a new policy, function or strategy or recommend a substantive change to an existing policy, function or strategy. Therefore, no Equality Impact Assessment is required

- (b) Fairer Scotland Duty

If this report affects or proposes any major strategic decision:-

Has there been active consideration of how this report's recommendations reduce inequalities of outcome?

	YES – A written statement showing how this report's recommendations reduce inequalities of outcome caused by socio-economic disadvantage has been completed.
X	NO

- (c) Data Protection

Has a Data Protection Impact Assessment been carried out?

	YES – This report involves data processing which may result in a high risk to the rights and freedoms of individuals.
X	NO

## 5.5 Repopulation

No direct implications.

## 6.0 CONSULTATIONS

- 6.1 There have been no further consultations on this outcome report.

## 7.0 BACKGROUND PAPERS

- 7.1 None.

**Rona McGhee**

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**From:** Tommy Rodger <pgwestcommunitycouncil@gmail.com>  
**Sent:** 02 October 2019 17:21  
**To:** Peter MacDonald  
**Subject:** Re: (Official) Craigend Resource Centre - Proposed Disposal of Open Space Land

Peter

Our Port Glasgow West Community Council has no objections to the attached proposal.

Regardless

Tommy Rodger  
(Secretary)

On Wed, Oct 2, 2019 at 5:11 PM Peter MacDonald <[Peter.MacDonald@inverclyde.gov.uk](mailto:Peter.MacDonald@inverclyde.gov.uk)> wrote:

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Classification: Official

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Dear Secretaries

The Council is considering transferring or leasing land at McLeod Street, Greenock and I am writing to you as the Council is keen to hear the views of the community on this proposal so these can be considered when a decision is reached on whether or not to proceed. I therefore attach notification of the proposal under the Town and Country Planning (Scotland) Act 1959 and would encourage you to submit any representations or comments that your Community Council may have on the proposal.

Any person may object to the proposed disposal either by email to [property@inverclyde.gov.uk](mailto:property@inverclyde.gov.uk) or in writing to the Head of Legal and Property Services, Inverclyde Council, Municipal Buildings, Clyde Square, GREENOCK, PA15 1LX. Objections and representations should be made by no later than **4.00 pm on Friday 18 October 2019** and should state the grounds on which they are made. **Any representations or comments received, together with the details (including name and address) of the party or parties making such representations or comments, will appear in a publically available report to the Council's Environment and Regeneration Committee.**

More information about the proposal is available on the Council website [www.inverclyde.gov.uk/craigend](http://www.inverclyde.gov.uk/craigend). If you wish to discuss further please contact the Council's Property Assets Team on 01475 712 102 or [property@inverclyde.gov.uk](mailto:property@inverclyde.gov.uk). Separately, more detail on the planning application that Craigend Resource Centre have submitted is available on the planning section of the Council website <https://planning.inverclyde.gov.uk> by searching under planning reference 19/0201/IC.

If you have any questions or queries, I am happy to discuss as ever.

Regards.

Peter

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Peter J MacDonald

Solicitor

Inverclyde Council

Environment, Regeneration & Resources

Legal and Property Services

Municipal Buildings

Greenock

PA15 1LY

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✉ - [peter.macdonald@inverclyde.gov.uk](mailto:peter.macdonald@inverclyde.gov.uk)

Inverclyde Council website – [www.inverclyde.gov.uk](http://www.inverclyde.gov.uk)

Inverclyde on Twitter – [twitter.com/inverclyde](https://twitter.com/inverclyde)

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## Rona McGhee

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**From:** Jen Dickson <jen@Inverclyde.yfc.co.uk>  
**Sent:** 15 October 2019 16:53  
**To:** Property  
**Subject:** Proposed Disposal or Lease of land at McLeod Street- Inverclyde Youth For Christ Response

Dear Sir/Madam,

I received the letter regarding the "Proposed Disposal or Lease of land at McLeod Street". As a like-minded organisation working in the Inverclyde community we support this proposal. The Craigend Resource Centre is a fantastic facility in the east end of Greenock and we hope to see their proposed redevelopment come to fruition.

Please note: the letter I received was addressed to me in my maiden name [REDACTED] and sent to an old address. Our updated correspondence details are listed below.

Thank you,

**Jen Dickson**  
**Centre Director**

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t: 07375481657 e: [admin@inverclyde.yfc.co.uk](mailto:admin@inverclyde.yfc.co.uk) w: [Inverclyde.yfc.co.uk](http://Inverclyde.yfc.co.uk)

Inverclyde Youth For Christ, company limited by guarantee.  
Registered in Scotland Number SC288028 Scottish Charity Number SCO17751

**Please note my new email address is [jen@inverclyde.yfc.co.uk](mailto:jen@inverclyde.yfc.co.uk) Thank you.**